



February 13, 2009

Mariner Beach Club – Renovation/Restoration Project

Meeting Date: February 10, 2009

**Meeting Location: Mariner Beach Club
4220 Gulf Boulevard
St. Petersburg Beach, Florida**

**Attendees: Bruce Cooper (St. Petersburg Beach)
Ernie Hand (St. Petersburg Beach)
Greg Bowen (Engineering Matrix, Inc.)
Michael Biller (Biller Reinhardt Structural Group, Inc.)**

The following summarizes project items discussed and decisions made:

1. Determination of property value
 - a. Use the county assessment value plus 25% (can be viewed on the Pinellas County Property Appraisers office web site).
 - b. Obtain an independent appraisal for each building.
2. Required concrete strength for elevated slabs, beams, and stairs is $f'_c=5000$ psi.
3. Exterior Stairs
 - a. New stairs shall meet current code requirements for width and layout.
 - i. Florida Building Code 2007.
 - ii. 2007 Florida Fire Prevention Code.
 - iii. 2003 Life Safety
 - b. Guardrail shall meet current codes (height, configuration, etc.) and have 12" returns.
 - c. L-shaped stairs (instead of curved stairs) will likely be the best means of locating the stairs in their current positions.
 - d. Two sets of stairs per walkway (as per the current locations) will be adequate.
4. West patio slab (along the west property line/coastal construction line)
 - a. New slab shall be constructed within the coastal construction line.
 - b. Need to verify setback requirements with Ms. Ann Marr (zoning official) at 727.363.9267. Ms. Marr will be unavailable this week due to jury duty.

*Mariner Beach Club
4220 Gulf Boulevard
St. Petersburg Beach, Florida*

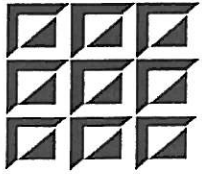
5. Existing gazebos
 - a. May be removed and replaced.
 - b. Timber structures shall meet current wind code requirements.
 - c. Thatch roofs shall not be utilized.
6. Windows/Doors/Sliding Glass Doors
 - a. Impact rated glass required.
 - b. Minimum 1 hour fire rating on mechanical room doors. All rooms not inhabited by guests are considered to be “mechanical rooms”.
 - c. Minimum 20 minute fire rating on guest room doors.
7. Parking lot – maintain existing striping layout.
8. Mechanical rooms
 - a. Seal penetrations.
 - b. Patch holes in CMU walls and ceilings.
 - c. Maintain a minimum 1 hour fire rating.
 - d. The fire marshal will defer to the building official as far as making the existing mechanical rooms work.
 - e. Ventilation required for pool chemical storage.
9. South building breezeway
 - a. Remove the south portion of the existing slab on grade.
 - b. New slab shall ramp downward towards the south walkway.
10. Fire alarm system – can be constructed on a separate permit.

If you have any questions, please contact our office at 813.908.7203.

Sincerely,

Biller Reinhart Structural Group, Inc.
State of Florida Certificate of Authorization No. 9149

Michael H. Biller, P.E., President
Florida P.E. No. 49972



Engineering Matrix, Inc.

MEETING MINUTES

TUESDAY, FEBRUARY 10, 2009

PROJECT..... **MARINER BEACH CLUB - RENOVATIONS**
Matrix Project #08-1320

ATTENDEES Bruce Cooper..... St. Pete Beach–Building Code Administrator
Ernie Hand St. Pete Beach Fire Department–Fire Marshal
Michael Biller..... Biller/Reinhart Structural Group, Inc.
Greg Bowen..... Engineering Matrix, Inc.

MINUTES

PREPARED BY..... Greg Bowen

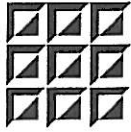
MEETING OVERVIEW

1. Fire Marshal noted that unless code required minimum dB levels are achieved in each sleeping area by the exterior horn/strobe devices located in the exterior corridor, then the sleeping rooms must be provided with a smoke detector equipped with an integral sounding device.
2. Fire Marshal noted that any rooms designated by the Owner as an ADA Room shall be provided with a fire alarm strobe device. It was later noted by the on-site manager that there are not any rooms designated as ADA Rooms.
3. Fire Marshal noted that Utility Rooms housing gas fired boilers should be provided with a smoke detector and a CO detector tied to the central fire alarm system.
4. Fire Marshal noted that any Mechanical/Utility Rooms (i.e., rooms not occupied by guests) shall have a one-hour fire rating. The primary concern is for utility penetrations to be fire caulked and doors be rated for one-hour.
5. Fire Marshal noted that all rooms used to store chlorine shall be provided with mechanical ventilation compliant with code. General Purpose Storage/Mechanical Rooms do not require mechanical ventilation.
6. Fire Marshal noted that existing exterior emergency lighting fixture spacing should be ensured to comply with code.
7. Fire Marshal noted that Boiler Rooms that will have new combustion air louvers installed in one hour rated walls be provided with a fire/smoke damper configured to close upon activation of smoke detector within room.
8. Fire Marshal noted that an automatic gas shut down valve be provided for the boilers. Valves to be closed upon activation of building fire alarm system.

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REPORTED BY

Gregory F. Bowen, P.E., LEED® AP

This report represents Matrix' understanding of the matters and items discussed and the observations of Matrix relating to construction progress and performance. It is the Contractor's responsibility to advise subcontractors or reproduce and distribute copies of this report as necessary. Should any party have corrections or comments regarding this report, advise Matrix by written notice within reasonable time in accordance with the Conditions of the Contract. Items within { } are supplementary post-meeting clarifications or comments. Underlined items indicate there is no further follow-up action and will removed on the subsequent meeting minutes.

cc: Attendees